



Planning Commission Study Session

31 – 57 S. B Street Pre-Application (PA-2021-082)

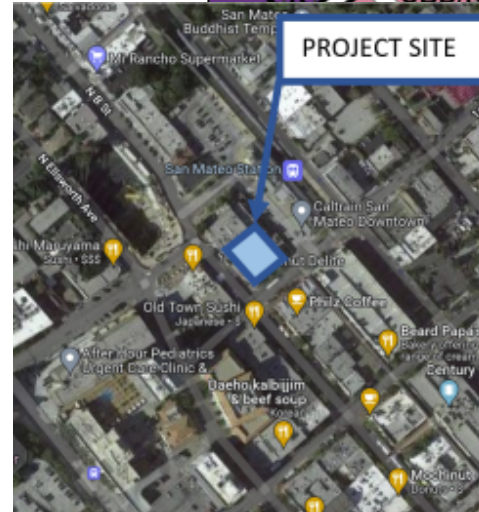
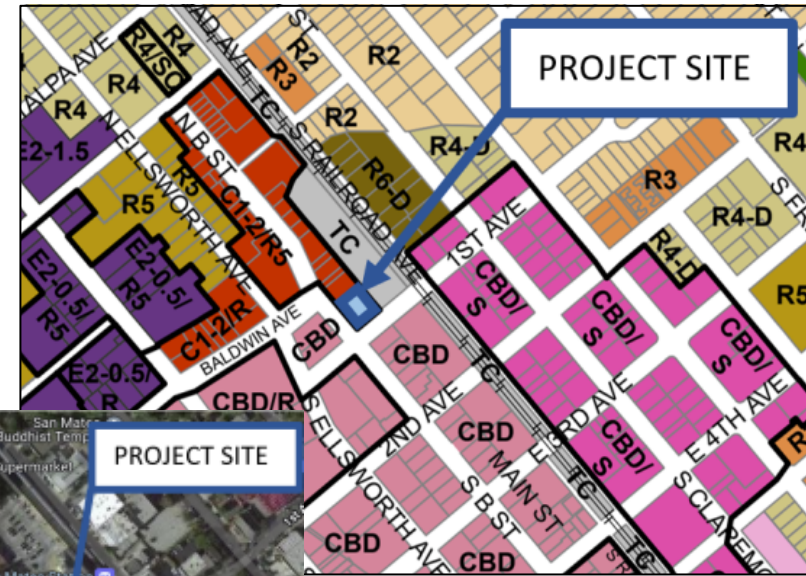
May 10, 2022

Julia Klein, Principal Planner

Community Development Department

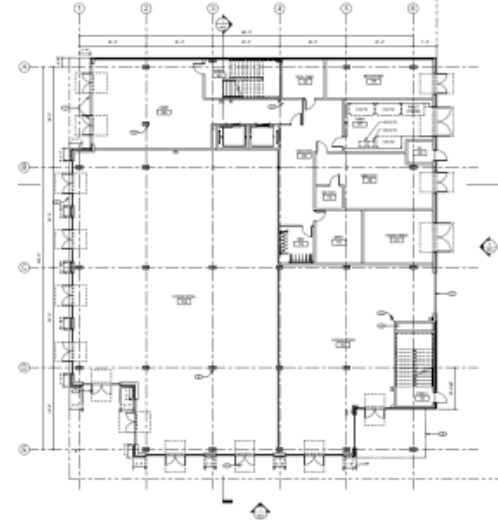
PROJECT SITE

- 1 parcel / 0.37 acres
- C1-2/R5 (Neighborhood Commercial/Residential Overlay – Mixed Use)
- Restaurant uses, former San Mateo Locks
- Surrounding Uses:
 - B Street – Retail, restaurants, services at ground floor, offices and residential on upper levels.
 - First Avenue – Transit Station, public garages, police substation, restaurants, retail



PROJECT DESCRIPTION

- Zoning reclassification
 - Proposed change from C1-2/R5 to CBD)
 - Would increase max. allowable F.A.R. from 2.0 to 3.0.
- Proposed Development
 - 4-story, mixed-use commercial & office
 - Proposed FAR ~ 2.54
 - Total Floor Area ~ 40,789 sq ft
 - Retail ~ 5,424 sq ft
 - Offices ~ 35,365 sq ft
 - Open Space (ground level) ~ 403 sq ft
 - No on-site parking, loading from shared driveway



CODE AND POLICY REVIEW

- Zoning Reclassification
- Proposed Development
 - Site Plan and Architectural Review (SPAR) for new building and site improvements
 - Site Development Planning Application (SDPA) for tree removal

Applicable policies/codes include:

- General Plan
- Downtown Area Plan
- Zoning Code
- Central Parking Improvement District (CPID)
- Downtown Retail Core Design Guidelines
- Bicycle Master Plan
- Pedestrian Master Plan

POTENTIAL CONFORMANCE ISSUES:

- Zoning Reclassification
- Design
- Parking, loading zone
- Changes in the public right-of-way

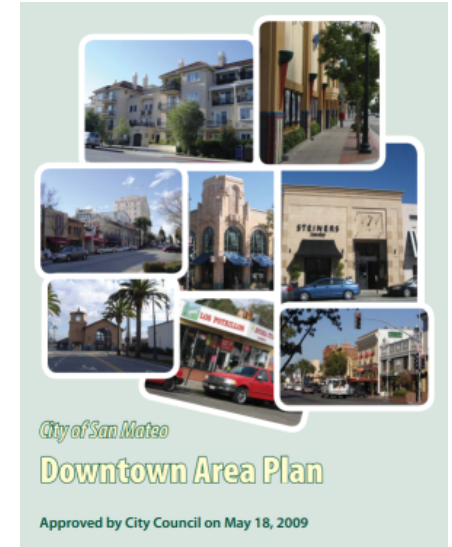
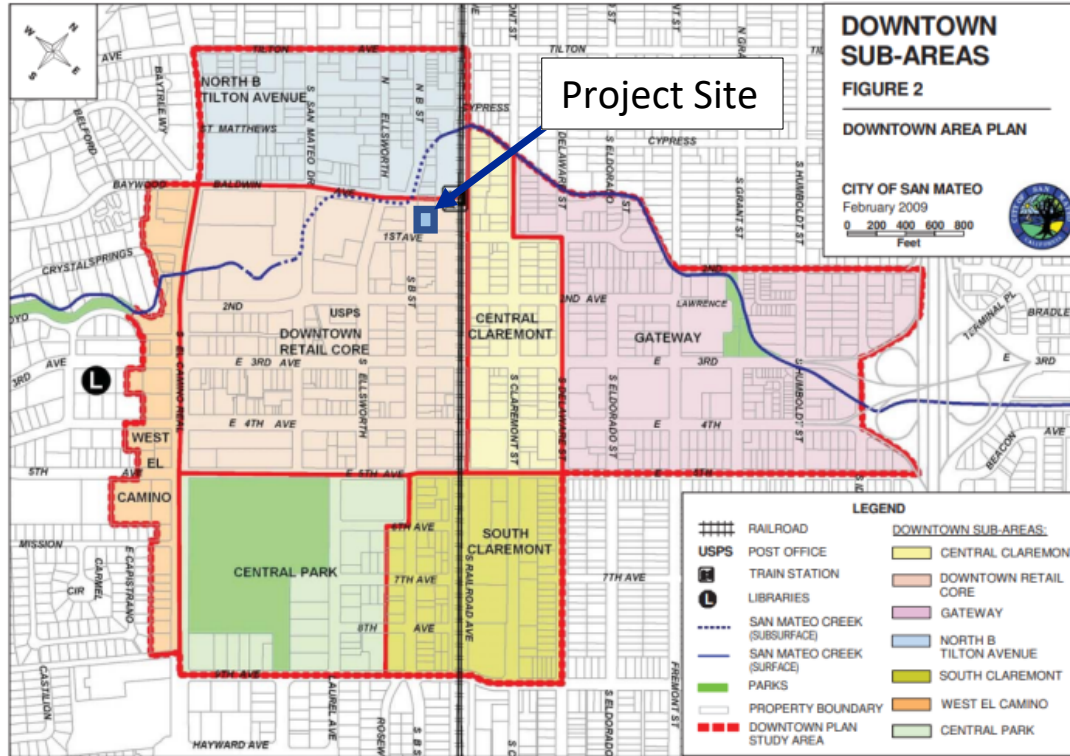
Zoning Reclassification

Zoning Reclassification - Findings

- The proposed amendment is in conformance with the goals, policies, and objectives of the General Plan; and
- The proposed amendment would not be detrimental to the public interest, health, safety, convenience, or general welfare of the City.

A map of the project site area in St. Louis, Missouri. The map shows a grid of streets including Catalpa Ave, Road Ave, N St, S Rail Road Ave, Baldwin Ave, Main St, Sellswor, 1st Ave, 2nd Ave, 3rd Ave, and 4th Ave. A blue arrow points to a specific location on the map, labeled "PROJECT SITE".

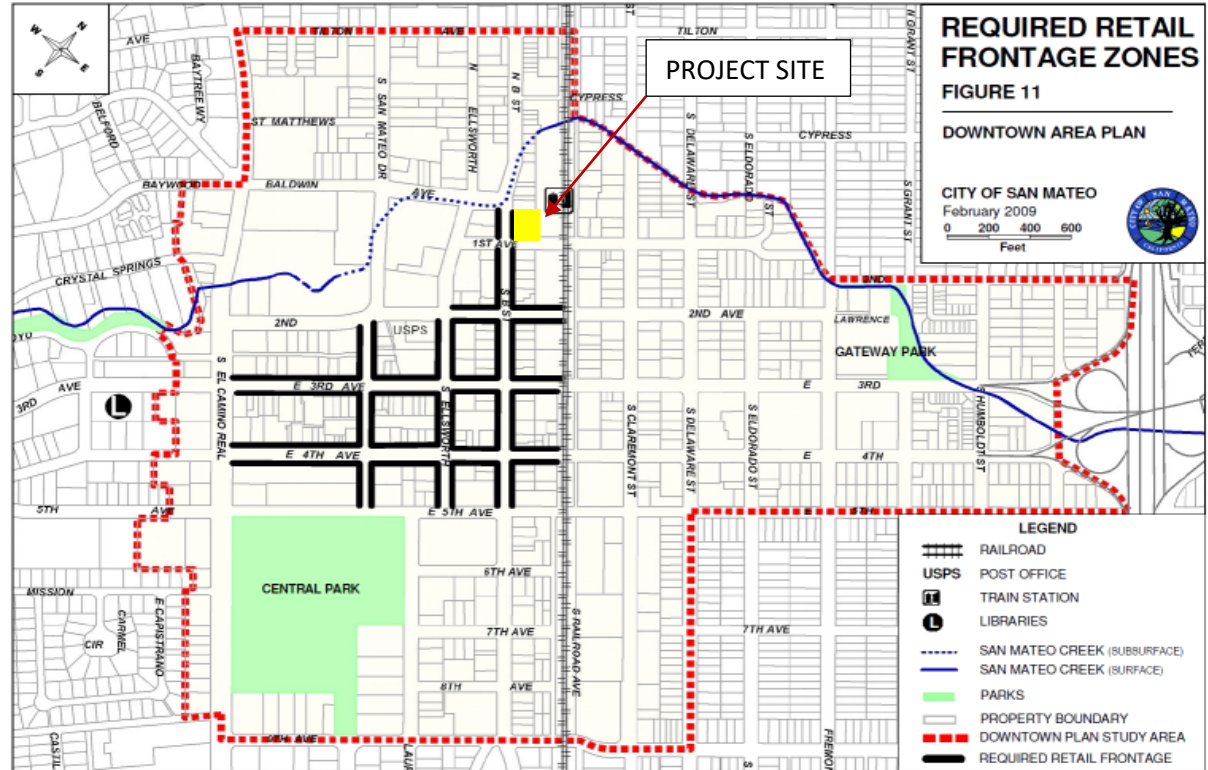
Zoning Reclassification



Retail Core Subarea

- No Required Retail Frontage Zone or Ground level open space requirements

- Subject to Required Retail Frontage Zone & Ground floor open space requirements



CODE AND POLICY REVIEW

➤ Zoning Code

- FAR: 2.0 vs 3.0
- Setback/Building Line
- Ground level open space
- Building Line/Setback
- Required Retail Frontage

COMMERCIAL DATA SHEET			
<i>*Based on conceptual plans submitted for Pre-Application.</i>			
NAME: 31 – 57 S. B Street (Pre-App)	PA: 2021-082	ADDRESS: 31 – 57 S. B Street	
LAND AREA: 16,413 sf (0.37 ac)	ZONING: Current Zoning Designation: C1-2/R5 Proposed Zoning Reclassification: CBD	APN: 034-154-030	
		Requirements Under Current Zoning: C1-2/R5	Requirements Under Proposed Zoning: CBD
FLOOR AREA:	PROPOSED:	MAXIMUM ALLOWED:	MAXIMUM ALLOWED:
Commercial - Retail	5,434 sf		
Office	36,365 sf		
Total:	41,799 sf	32,826 sf	49,239 sf
FLOOR AREA RATIO (FAR):	2.54	2.0 FAR	3.0 FAR
SETBACKS:	PROPOSED:	MINIMUM REQUIRED:	MINIMUM REQUIRED:
Front:	0	0	0 (also, refer to Building Line and Setback section below.)
Left Side:	0	0	0 (also, refer to Building Line and Setback section below.)
Right Side:	0	0	0 (also, refer to Building Line and Setback section below.)
Rear:	0	0	0 (also, refer to Building Line and Setback section below.)
OPEN SPACE:	Ground level: 403 sf Roof top terraces: 2,844 sf More info needed to verify compliance.	Not required.	1% of non-residential floor area; no requirement for open space if resulting open space is less than 200 sf. Minimum width of 25 ft along sidewalk. 50% of open space area shall be unshaded between noon and 2 pm at spring and fall equinox, except if shaded by existing building. Open space shall include public use facilities.
BUILDING LINE AND SETBACK:	Approx. 28 ft set back at office entrance (24.6%)	Not required.	S. B Street and First Avenue sides Up to 25% of building line may be set back from property line to provide for open space.
BUFFERS:	Not applicable.	Buffers required for C1 zoned properties when it abuts any residential districts.	Buffers required for CBD zoned properties when it abuts any residential district.
REQUIRED RETAIL FRONTAGE:			S. B Street: yes, subject to RRF First Avenue: no, not subject to RRF (see 2009 Downtown Area Plan)

CODE AND POLICY REVIEW

View of Interiors	May meet CBD Required Retail Frontage requirement on both streets; however, dimensions & calculations are needed to verify.	MINIMUM REQUIRED: Not applicable.	MINIMUM REQUIRED: Minimum 75% devoted to entrances & windows
Ground Floor Entries to Other Uses	S. B Street: Approx. 28 ft (24.6%)	MAXIMUM ALLOWED: Not applicable.	MAXIMUM ALLOWED: Up to 25% for entrances to uses other than permitted uses in Required Retail
Second Floor Offices	Appears to meet CBD requirement on both streets.	MAXIMUM ALLOWED: Not applicable.	Offices permitted on second floor only if ground floor is occupied by one of the permitted uses in Required Retail
NOTES: <ul style="list-style-type: none"> Conceptual plans do not contain level of detail necessary to verify code compliance. Project data is subject to change upon submittal of more detail plans and reviewed during the formal planning application. New projects located within the Central Parking Improvement District (CPID) may request a Parking Demand Study to determine off-street parking ratios specific to the office component of the project [SMMC 27.64.100(a)(5)]. Parking in-lieu fees may also be paid for eligible off-site parking stalls not provided on-site. Archeological – Site is located in high sensitivity area; therefore, an evaluation will be conducted during formal planning application. Historical – Buildings over 50 years old; therefore, a Historic Resource Evaluation will be conducted during formal planning application. Noise – Site is located within area of high noise due to proximity to Caltrain station. Tree – Project includes removal of street trees and will be required to plant new street trees. Grading – Insufficient information to determine at this time. Traffic/VMT/TDM – TBD Easements – Existing shared alley/driveway off of First Avenue is proposed to remain. 			

➤ Zoning Code

➤ Required Retail Frontage (cont.)

- View of Interiors
- Ground floor entries to other uses
- Second floor offices

➤ Archaeological

➤ Historical Evaluation

➤ Tree Removal

- Note: more information needed to verify consistency with: parking, bicycle parking, loading, etc.

DISCUSSION ITEMS – Zoning Reclassification

- Does the Planning Commission have any comments regarding the zoning reclassification?

Design: Building, Site Design & Right-of-Way

BUILDING DESIGN & SITE PLAN - Findings

- Site Plan and Architectural Review (SPAR) (focused findings):
 - Structures, site plan, and landscaping are in scale and harmonious with the neighborhood
 - The development meets all applicable standards and conforms with the General Plan
- Site Development Planning Application for tree removal (findings):
 - The development will address all concerns regarding surface grading, structure foundations, drainage, subsurface conditions, erosion, landscaping and tree removal have been addressed.

Building Design



Building Design



8 ST. VIEW
RENDER

1



18 ST. AVE VIEW
RENDER

1

Building Design



CORNER BROADWAY ELEVATION

①



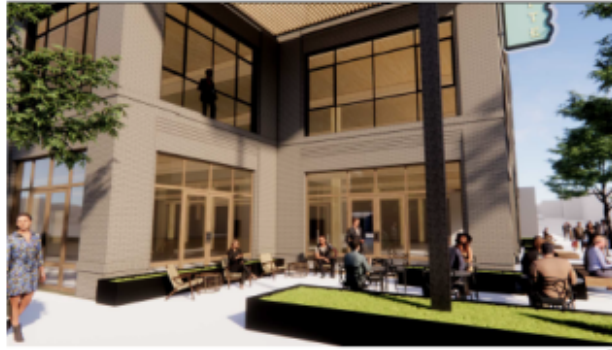
BROADWAY ELEVATION

②



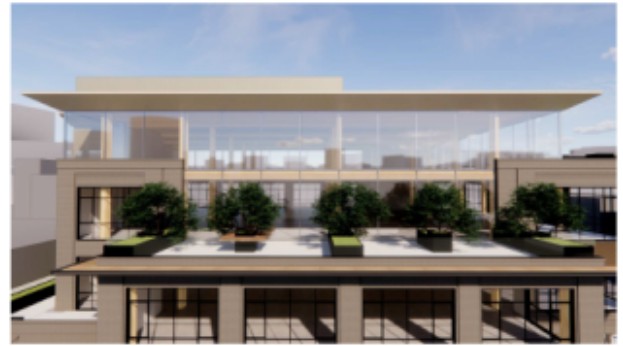
BROADWAY ELEVATION

③



CORNER PLAZA VIEW

④



BROADWAY ELEVATION

⑤

Building Design

BUTT-JOINT CURTAINWALL GLAZING:

(GL-1)



DARK-FRAMED STOREFRONT:

(GL-2)



WOOD-CLAD STOREFRONT:

(GL-3)



ROOF CANOPY:

(RC-1)



ROOF MECHANICAL SCREEN:

(MS-1)



EXTERIOR BRICK:

(BR-1)



TEXTURED WALL PANEL:

(WP-1)



*FINAL TEXTURE
NOT YET SELECTED

CEMENT PLASTER:

(CP-1)



GLASS GUARDRAIL:

(GL-4)



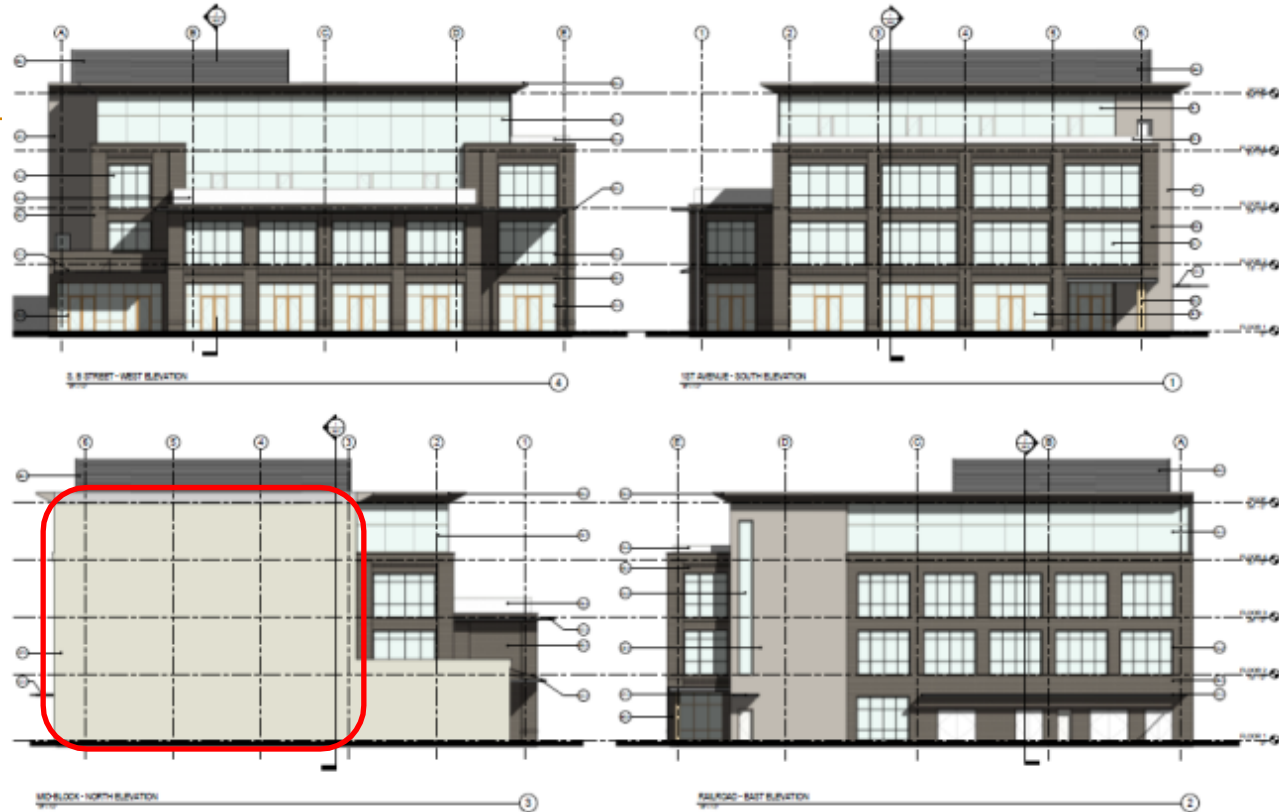
EXPOSED WOOD:

(WD-1)



STEEL CANOPY:

(ST-1)



Design Guidelines “represent minimum criteria for acceptable development”.

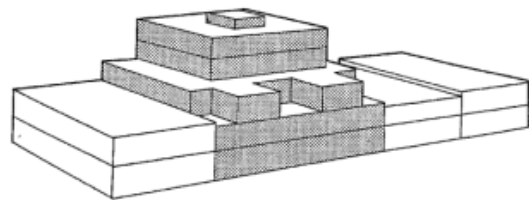
- A. Relate height of new buildings to pattern of Downtown.
- B. Building fronts should recognize traditional lot widths in Downtown.
- C. Achieve compatibility of diverse building styles by recognizing architectural elements common to most buildings.
- D. Provide detailing that enriches the architectural character & provides three dimensional depth to façade.
- E. Entrances.
- F. Use Windows to Define Floor Levels.
- G. Awning/Canopies
- H. Maintain visually interesting activity at the sidewalk edge.
- I. Articulate the pedestrian area through the use of architectural and pedestrian improvements.
- J. Private Plazas, outdoor restaurant seating & outdoor display of merchandise.
- K. Alleyways/Midblock pedestrian areas.

Other Design Considerations: Blank Wall, Materials

Design Objectives:

Architecturally acknowledge the height of adjacent structures by:

- Transitioning building heights with mid-rise building sections;
- Stepping back upper floors;
- The use of architectural elements such as roof cornices and awnings to acknowledge the height of adjacent buildings;



Massing diagram of new construction with upper floors setback from adjacent structures.



Design Objectives:

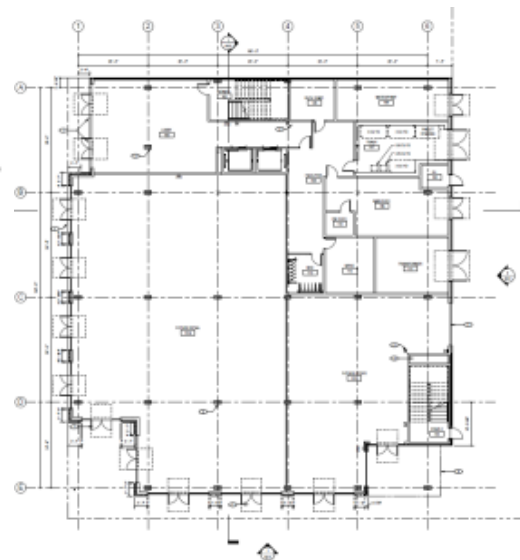
- Provide a vertical change in the street fronting facade at 25 to 50 foot intervals or less;
- Provide pedestrian entries within most sections of the facade.



A portion of Third Avenue in San Mateo illustrating storefront widths and entrances.



New building vertically divided into sections.



Design Objective:

New construction should incorporate dominant architectural elements common to the nearby buildings.

Characteristics of these
two existing buildings:

- Strong top and mid cornice
- Double hung windows in pairs
- Tile kick plate



Design Objective:

Provide architectural detailing that:

- Is visually interesting to the pedestrian;
- Creates a three dimensional appearance to the facade;
- Is consistent with the level of detail on surrounding buildings.



Building with a high level of detailing that provides a three dimensional appearance to the storefront including:

- Recessed windows and doors;
- Awnings;
- Ornamentation;

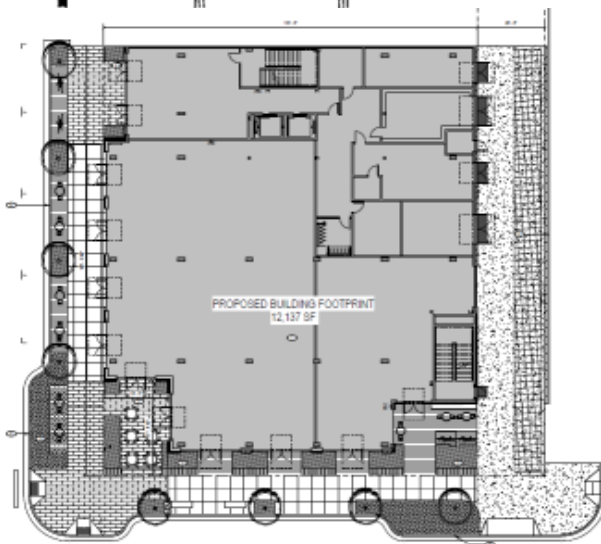
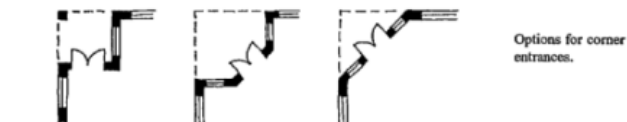


The taller building lacks detailing and visual interest. The flush fitting windows, small entry and almost flush awning create a flat appearance not consistent with downtown San Mateo. The small proportions of these architectural features are also out of scale with the front facade and accentuate the size of the building.



Design Objective:

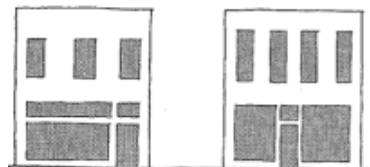
Recess entrances to allow window shopping and pedestrian standing room.



Design Objective:

Maintain the distinction between upper and lower floor levels by:

- *Developing the ground floor as primarily windows and doors;*
- *On the ground floor use large panes of clear glass;*
- *On upper floors use windows that identify the number of floor levels;*



The continuous vertical glass does not differentiate floor levels.



Provide visual interest to all facades fronting on a street.



Interest is increased with additional landscaping, display or regular windows, and base and cornice trim.

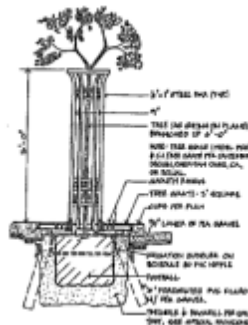


- *Include pedestrian oriented architectural improvements on building fronts to further define the sidewalk area as a comfortable and interesting pedestrian place.*
- *Design for pedestrians in the public right-of-way by providing improvements such as street trees, special sidewalk paving, and sidewalk furniture, in accordance with City standards.*



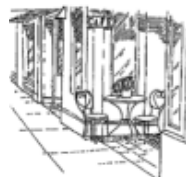
Building elements that improve the sidewalk area for the pedestrian:

- Awnings
- Recessed windows and doors
- Ornamental lighting, detailing and other architectural elements
- Street trees
- Special paving
- Sidewalk furniture



- Encourage larger developments to include private plazas adjacent to the sidewalk for outdoor restaurant seating and relaxation.
- Consider possibilities for merchandise display in the design of recessed entryways while maintaining accessibility requirements.
- Consider locations within the public right-of-way for outdoor restaurant seating and merchandise display (limited to plants, books and food) where a minimum of eight feet of usable sidewalk remains between vertical public improvements (e.g. utility poles, fire hydrant, news boxes) and the seating area.

Restaurant seating provided behind the sidewalk on private property and on the sidewalk where adequate space exists.



Cafe seating located in a recessed entryway.

Design Objective:

Alleyways/Midblock Pedestrian Areas shall:

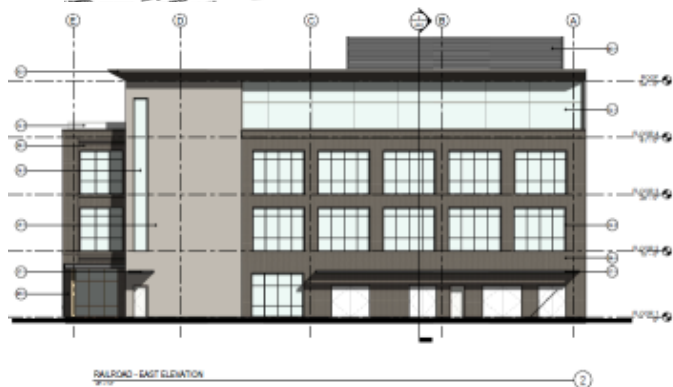
- Provide architectural finishes and detailing along alleys or other visible portions of buildings that are interesting to the pedestrian;
- Architecturally acknowledge entrances with canopies, detailing, signage and landscaping where possible;
- Shield trash and mechanical equipment from view with solid, durable enclosures;
- Be designed for safety by providing adequate lighting and avoiding areas that are concealed from view;

Existing alley with inconspicuous building entrances and visible trash and utility systems.



Improvements to the alley include:

- Awnings
- Lighting
- Landscaping
- Trash and utility enclosure



BUTT-JOINT CURTAINWALL GLAZING:



DARK-FRAMED STOREFRONT:



WOOD-CLAD STOREFRONT:



ROOF CANOPY:



ROOF MECHANICAL SCREEN:



EXTERIOR BRICK:

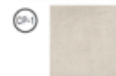


TEXTURED WALL PANEL:



*FINAL TEXTURE NOT YET SELECTED

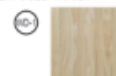
CEMENT PLASTER:



GLASS GUARDRAIL:



EXPOSED WOOD:



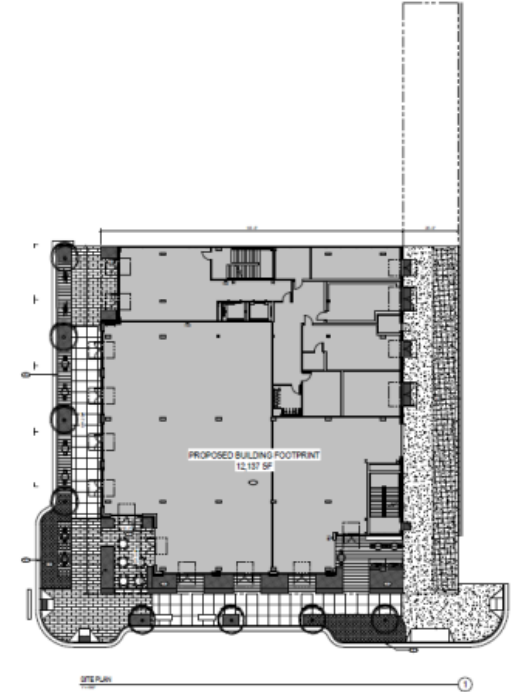
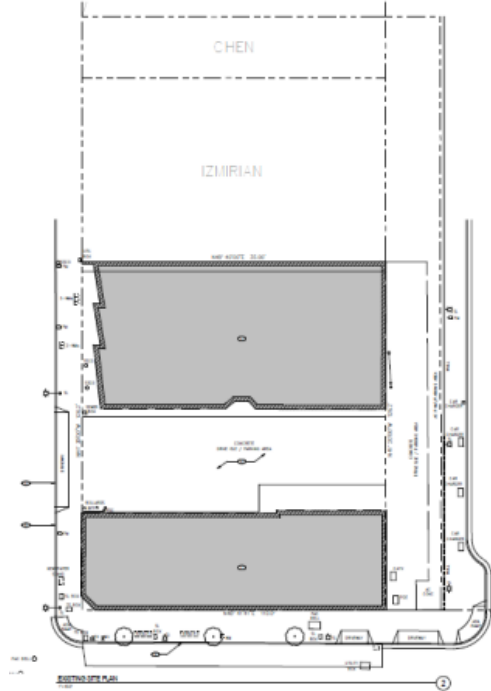
STEEL CANOPY:



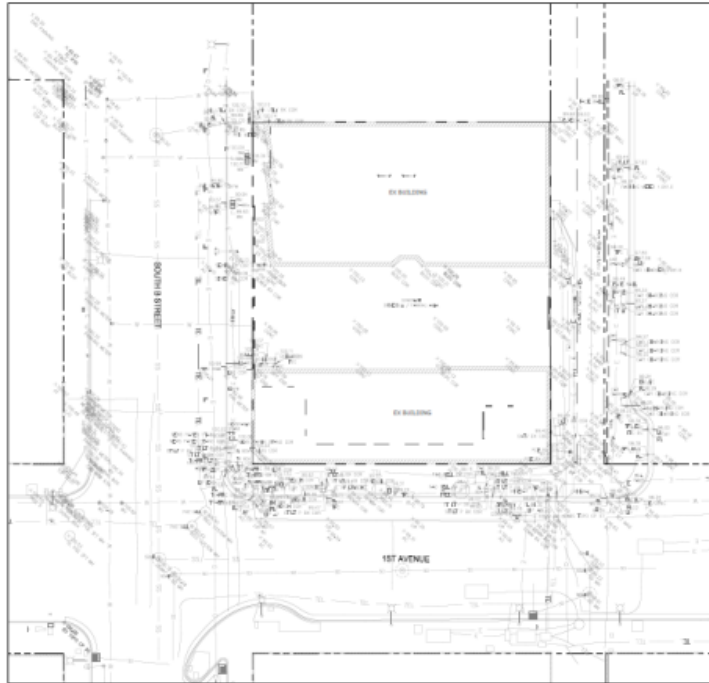
DISCUSSION ITEMS – Building Design

- *Would the Planning Commission recommend improving the proposed project design to address the following:*
 - *Relate height of new buildings to pattern of Downtown;*
 - *Design building fronts that recognize the traditional lot widths in Downtown;*
 - *Incorporate key architectural elements common to not buildings in Downtown;*
 - *Incorporate architectural detailing that is in scale with human proportions, adds interest and create three dimensional appearance to the building face;*
 - *Incorporate recessed entrances to provide for window shopping, pedestrian standing room and protection from wind and rain;*
 - *Incorporate different window sizes with larger windows at the ground floor to enhance the ground floor commercial uses and smaller windows on upper levels to distinguish it as a different use;*
 - *Utilize awnings/canopies to add depth to ground floor storefronts and provide location for future signage; and*
 - *Incorporate design elements that provide for alley that is architecturally attractive, safe and inviting for pedestrians, and accommodates the necessary back of house services and loading?*
- *Does the Planning Commission have other design or site comments?*

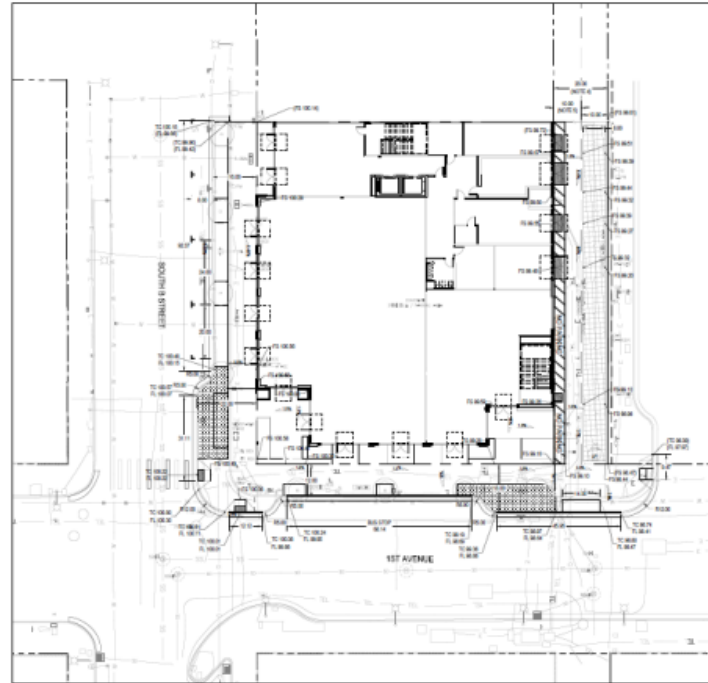
Site Plan & Public Right-of-Way



Site Plan & Public Right-of-Way



EXISTING CONDITIONS
SHEET 1110

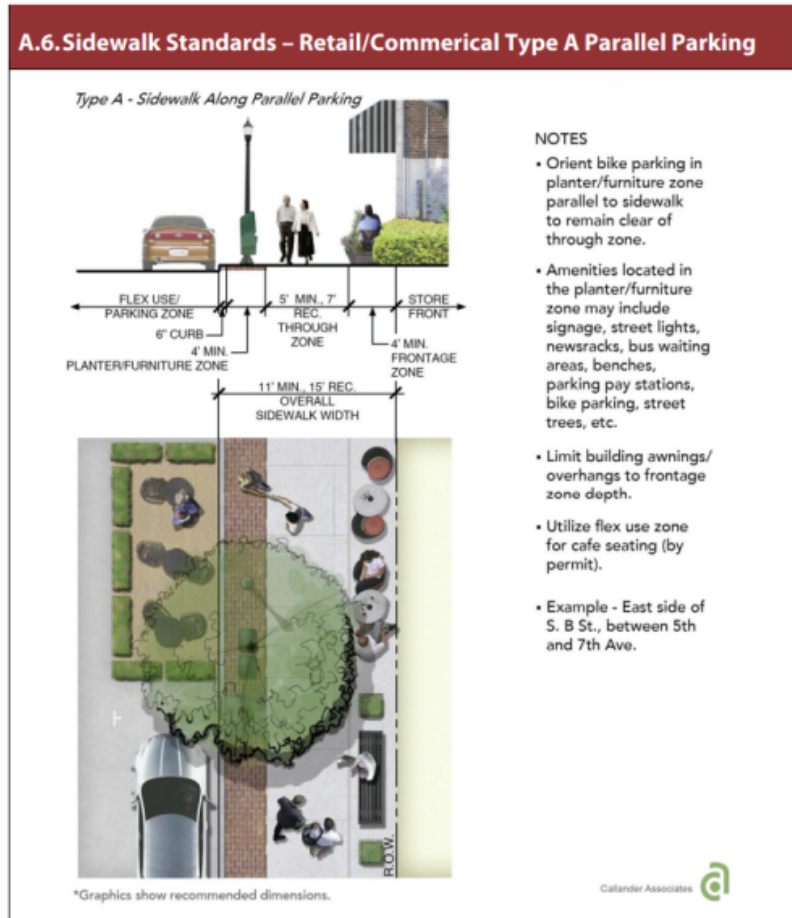


PROPOSED GRADING
SHEET 1110

CODE AND POLICY REVIEW

Pedestrian Master Plan

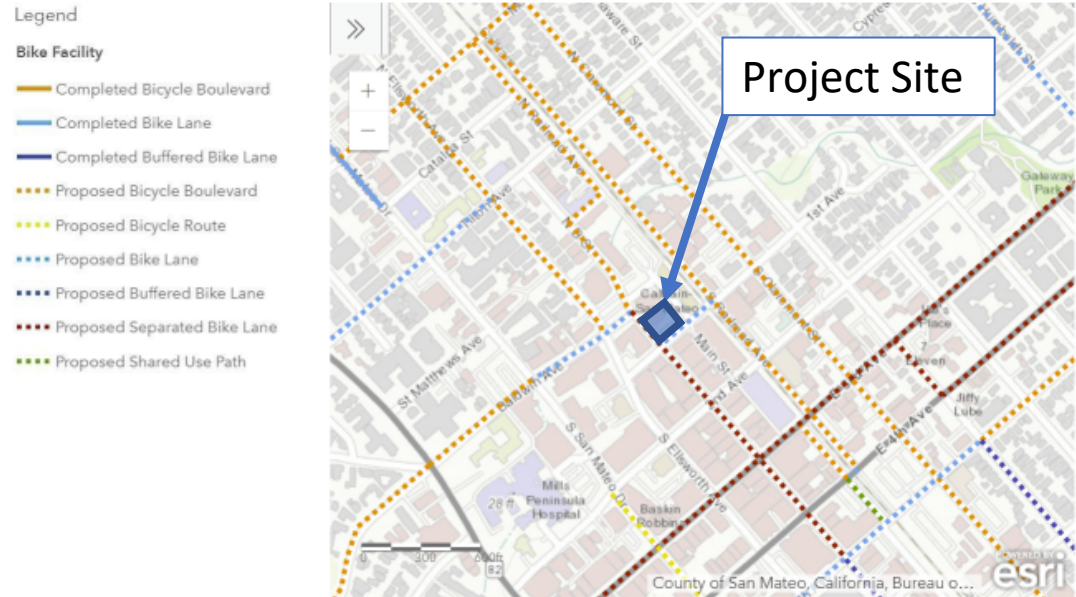
- Master Plan: 11 – 15 ft. sidewalk envisioned
- Proposed:
 - B St sidewalk: ~16 ft - 22 ft
 - First Ave sidewalk: ~8 ft – 24 ft
 - Expand into parking, travel lane



CODE AND POLICY REVIEW

Bicycle Master Plan

- Future bicycle lane along First Ave.
- City project
- Along B St – future CC ss on future of B St
- Potential conflict with sidewalk expansion into the right-of-way



DISCUSSION ITEMS – Site Plan & Right-of-Way

- Should the proposed sidewalk width be 11' to 15' to align with the Pedestrian Master Plan, or should a wider sidewalk be considered?
- If wider sidewalks are desired, should that additional width be created in the public ROW, on private property or combination of both?

NEIGHBORHOOD MEETING & PUBLIC COMMENTS

➤ Neighborhood Meeting held on April 11, 2022 (6 attendees) - concerns raised:

- Building design, height and size,
- Materials
- Alley as an extension of Main Street.
- Right of way changes

➤ Public Comments received:

- Design & materials
- Public right-of-way changes
- Proposed uses
- Parking
- Construction noise

RECAP: Questions to Consider

- Rezoning Reclassification: Does the Planning Commission have any recommendations regarding the zoning reclassification?
- Building Design & Site Plan:
 - *Would the Planning Commission recommend improving the proposed project design to address the following:*
 - *Relate height of new buildings to pattern of Downtown;*
 - *Design building fronts that recognize the traditional lot widths in Downtown;*
 - *Incorporate key architectural elements common to not buildings in Downtown;*
 - *Incorporate architectural detailing that is in scale with human proportions, adds interest and create three dimensional appearance to the building face;*
 - *Incorporate recessed entrances to provide for window shopping, pedestrian standing room and protection from wind and rain;*
 - *Incorporate different window sizes with larger windows at the ground floor to enhance the ground floor commercial uses and smaller windows on upper levels to distinguish it as a different use;*
 - *Utilize awnings/canopies to add depth to ground floor storefronts and provide location for future signage; and*
 - *Incorporate design elements that provide for alley that is architecturally attractive, safe and inviting for pedestrians, and accommodates the necessary back of house services and loading?*
 - *Does the Planning Commission have other design or site comments?*
- Public Right-of-Way:
 - Should the proposed sidewalk width be 11' to 15' to align with the Pedestrian Master Plan, or should a wider sidewalk be considered?
 - If wider sidewalks are desired, should that additional width be created in the public ROW, on private property or combination of both?

Thank You!

Julia Klein, Principal Planner
Community Development Department

jklein@cityofsanmateo.org

650-522-7216